

Urban Renewal: Hood River Heights Business District



**Two Meetings:
October 19- Provide
Information/Gain Initial
Feedback**

**November 9 – Gain public
input on project priorities**

Background on Urban Renewal

Q and A

Hood River Heights Urban Renewal Plan and

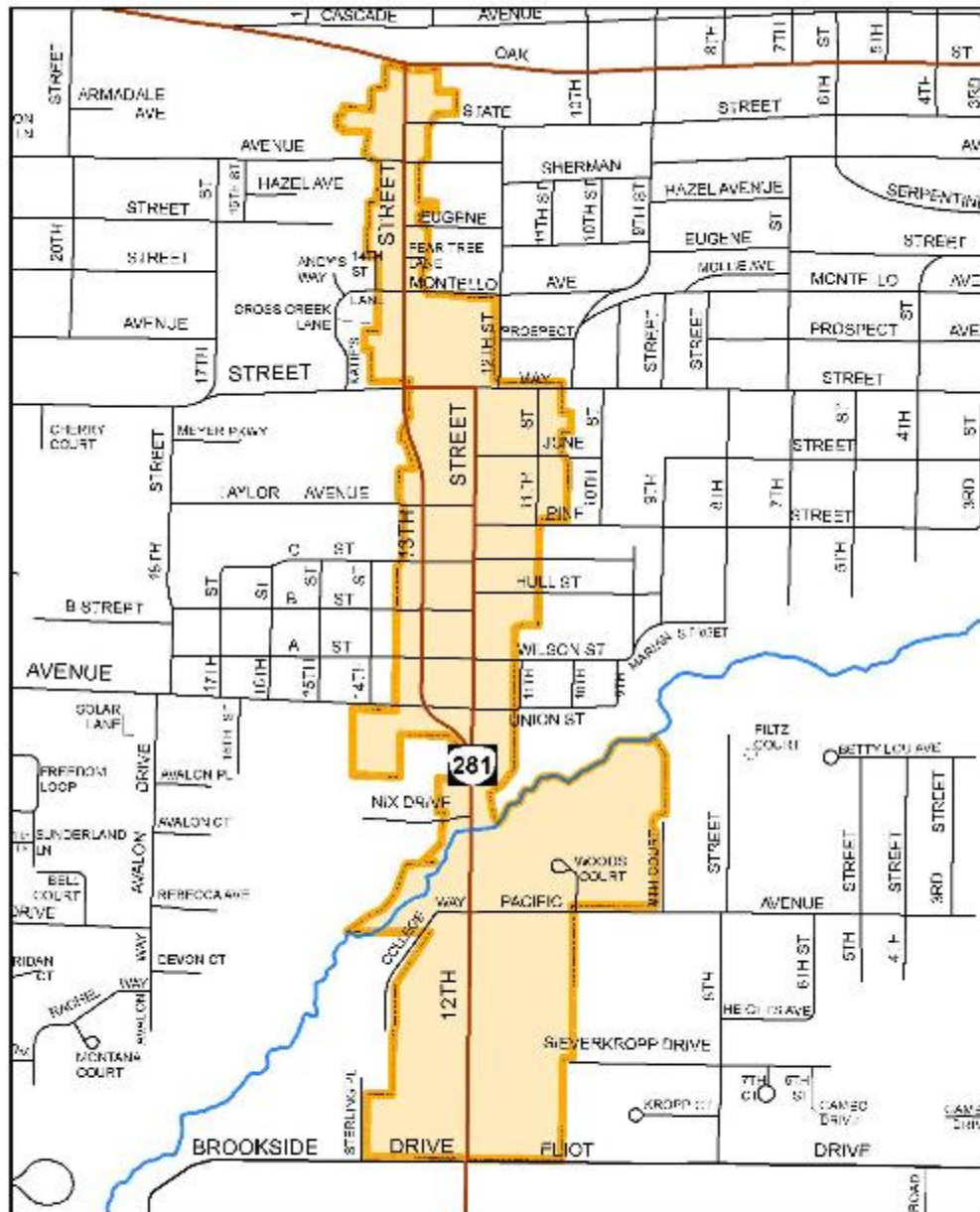
The Art of the Possible – Types of Projects

Q and A

Things to take away from this meeting

- 1. No new taxes with urban renewal**
- 2. General understanding of the goals of the Plan and what types of projects can be done.**
- 3. The Heights Urban Renewal District is primed for project implementation.**
- 4. We want you to come to the November 9th meeting to help establish project priorities.**

From Oak Street to Eliot Street along the 12th and 13th Corridor



Hood River Heights Urban Renewal Area Boundary



What is Urban Renewal?

- **No new taxes! Tax rate does not change!**
- **Program to improve communities**
- **Used throughout Oregon**
- **Provides Financing Mechanism to Implement City Plans:**
 - Uses increases in Property Taxes to Fund Projects in Area**
- **Leverages public dollars to spur private investment**

How is Urban Renewal Administered?

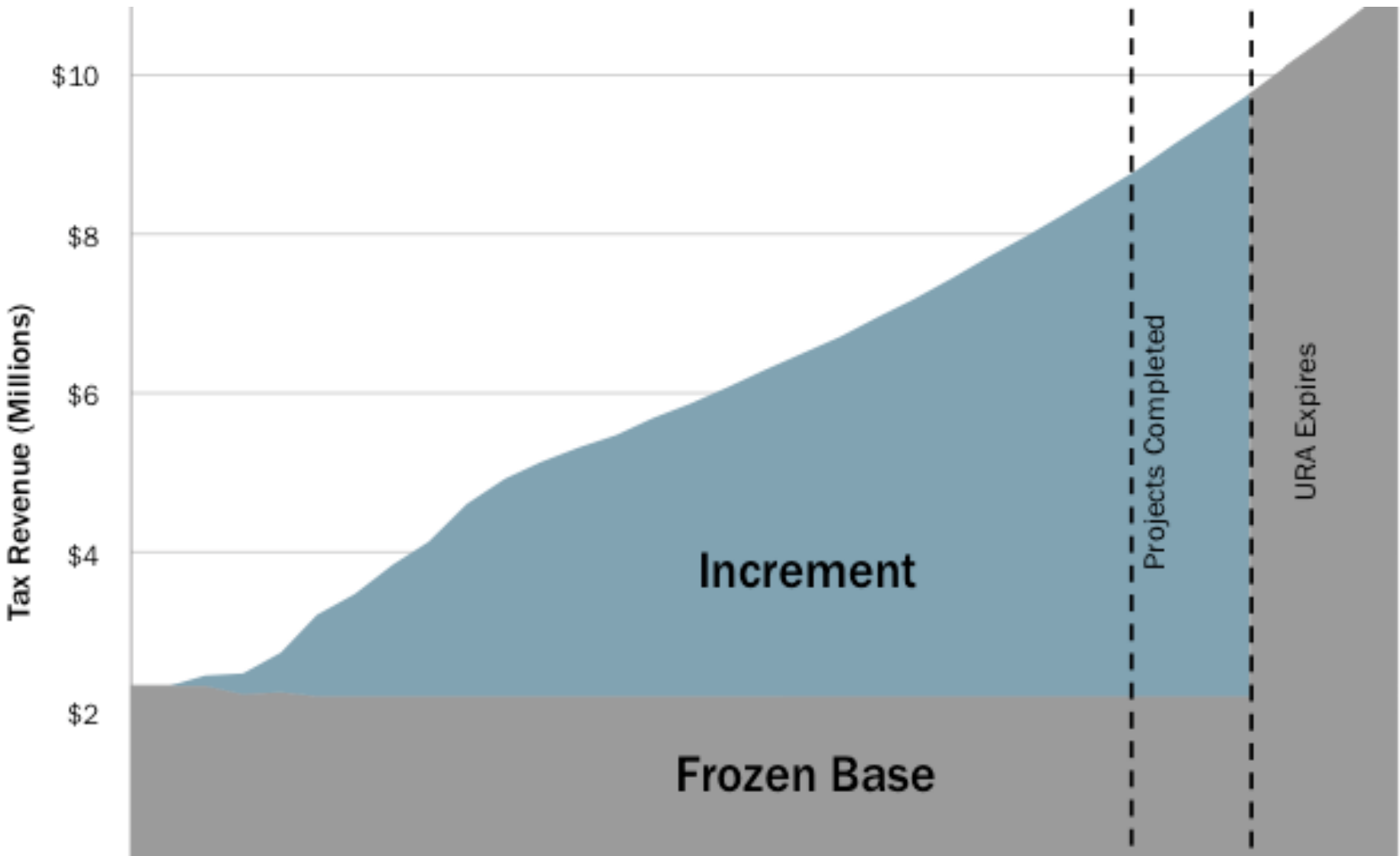
A city must establish an urban renewal agency prior to adoption of an UR Plan

Hood River Urban Renewal Advisory Committee

Hood River Urban Renewal Agency – City Council and two Port of Hood River members

Hood River City Council

How Urban Renewal Works



What is Maximum Indebtedness

MI is the total amount of funds to be spent on projects, programs and administration in an urban renewal area.

Maximum Indebtedness of Heights:

\$8,495,650

State Street Project = \$5,301,868

Impacts on Hood River Taxing Jurisdictions

- **Continue Receiving Taxes on Frozen Base**
- **Forego taxes on growth in Area**
- **Increased Tax Revenues After UR**
- **Indirect impact on School District and ESD**

Questions?

Hood River Heights Goals

Goal 1: *ECONOMY*

- **Diversify the economic base in the Hood River area.**
- **Strengthen the area's role as a regional economic center.**
- **Preserve and promote a livable community, better utilizing commercial and mixed use and residential lands.**
- **Accommodate the need for expansion of new and existing businesses and housing to support those businesses.**

Possible Projects:

Economic Development

Infrastructure Improvements

Housing Development



Goal 2: *DISTRICT IDENTITY*

- **Create and enhance a distinct identity for the Area as a mixed use neighborhood.**
- **Gateway to the city**
- **Place for residents of the city to live, shop for goods and services, work and play.**

Possible Projects: Streetscape Improvements

Public Spaces/Parks

Connections to local parks/greenspaces

Signage



Goal 3: *RECREATION*

- **Provide facilities and parks to support the Heights Business District and neighboring residential community.**

**Possible Projects: Public Spaces/Parks
Connections to local parks/greenspaces**



Goal 4: *TRAFFIC AND TRANSPORTATION*

- **Implement transportation improvements that enhance Hood River's livability.**
- **Provide a safe transportation system**
- **Provide facilities that are accessible to all members of the community.**
- **Reduce trip length.**
- **Provide for the efficient movement of goods.**



**Possible Projects:
Streetscape Improvements
Parking**



Goal 5: *PUBLIC UTILITIES*

- **Ensure adequate infrastructure is available for new development.**

Possible Projects: Utilities/Undergrounding of utilities



Goal 6: *PUBLIC INVOLVEMENT*

- **Maintain a program that allows citizens to be involved in all phases of the planning and implementation process.**



Goal 7: *HOUSING*

- **Diversify the supply of housing**
- **Strengthen the Area's role as a residential neighborhood.**
- **Preserve and promote a livable community, better utilizing commercial, mixed use and residential lands.**
- **Accommodate the need for development of long-term housing (rental and ownership) at affordable and other income levels**

Possible Projects: Assist in the development of housing, including affordable housing, in the Area



Types of Initial Projects

- **District Identity/Streetscape Improvements**
 - **Pedestrian and bicycle improvements**
 - **Enhance connections with local parks and greenspaces**
 - **Public spaces for community events**
- **Redevelopment Assistance**
- **Housing Assistance**
- **Infrastructure Improvements**
 - **Undergrounding of utilities where economically feasible**
 - **Parking improvements**
- **Property Acquisition**

State Street Project - \$5,301,868

- **8-block renewal project included complete reconstruction of all underground utilities, streets, sidewalks and curbs.**
- **Newly designed restroom facilities,**
- **New community biking hub, tree planters and benches,**
- **Larger and higher-visibility pedestrian walkways and crosswalks**
- **Integrated art and sculpture spaces,**
- **Better drainage and utility routing, and**
- **Over 600 linear feet of custom-engineered retaining walls which provided additional building spaces above State Street**



Hood River State Street



Hood River State Street



Estacada Streetscape











Lake Oswego B Street



Redmond Streetscape



Wayfinding



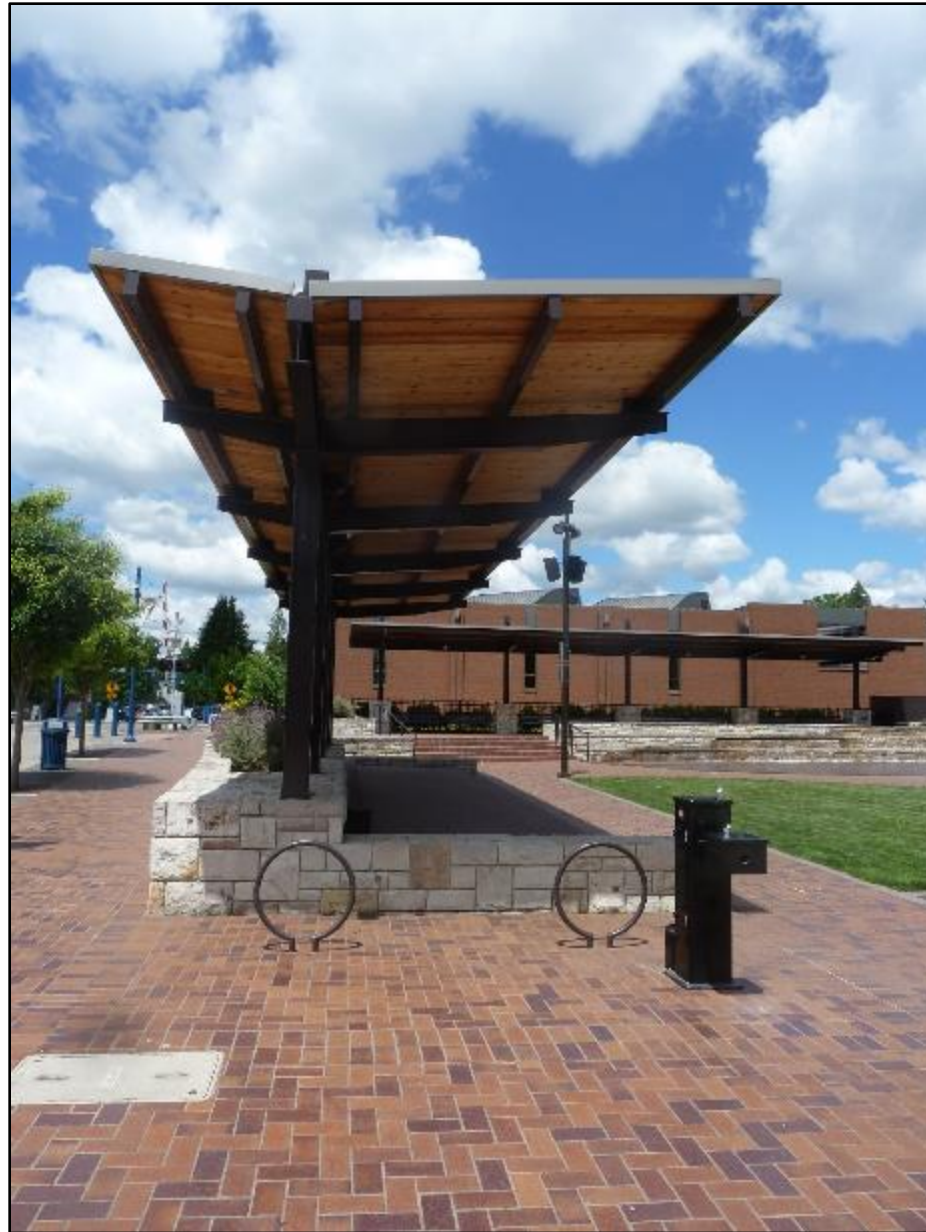
Signage



Parks, Plazas, Plantings, Benches



Parks







Tillamook Festival Street





Parking for Commercial District: Tillamook



L0 angle parking/ Hood River angled parking



Sisters Streetscape



Lake Oswego Parking



Storefront Loans/Redevelopment: Coos Bay



Astoria: Fort George Brewery and Pub



Historic building re-constructed in 1923, remodeled over 80 years later in 2006

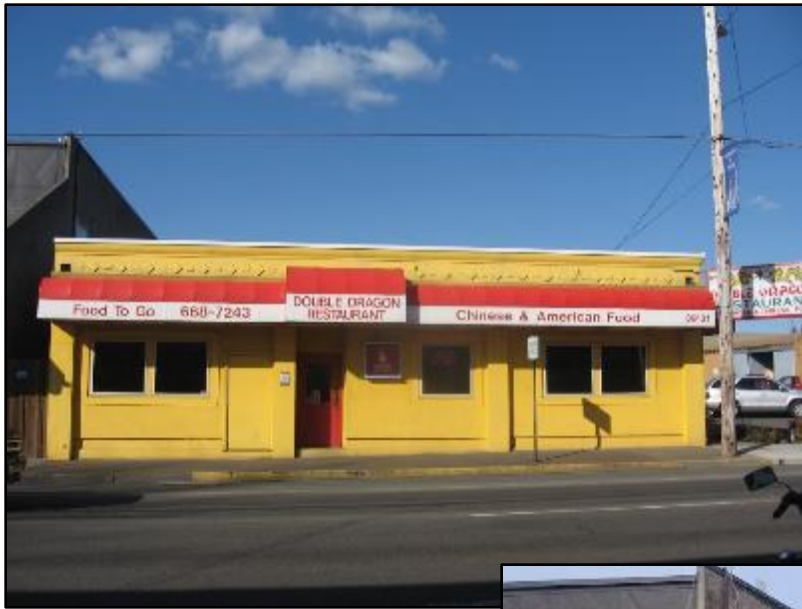
Urban Renewal provided:

- **Low interest loan for \$120,039 with an 8-year maturity date**
- **Storefront Improvement Grant of \$30,000**

Leverage:

- **SBA Loan**
- **State of Oregon (forgivable loan)**

Sandy Double Dragon





Sandy: Sandy Glass



Questions?

**Next Meeting: November 9
Hood River Fire Station**